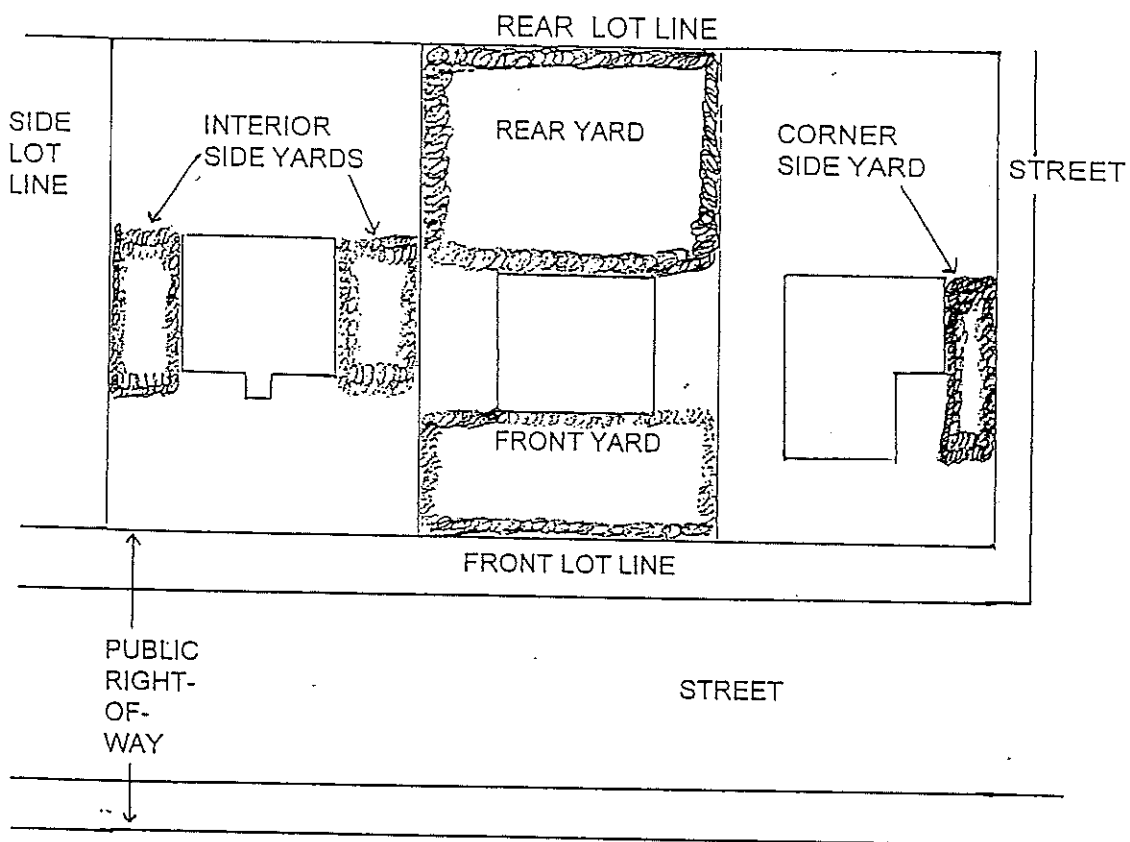
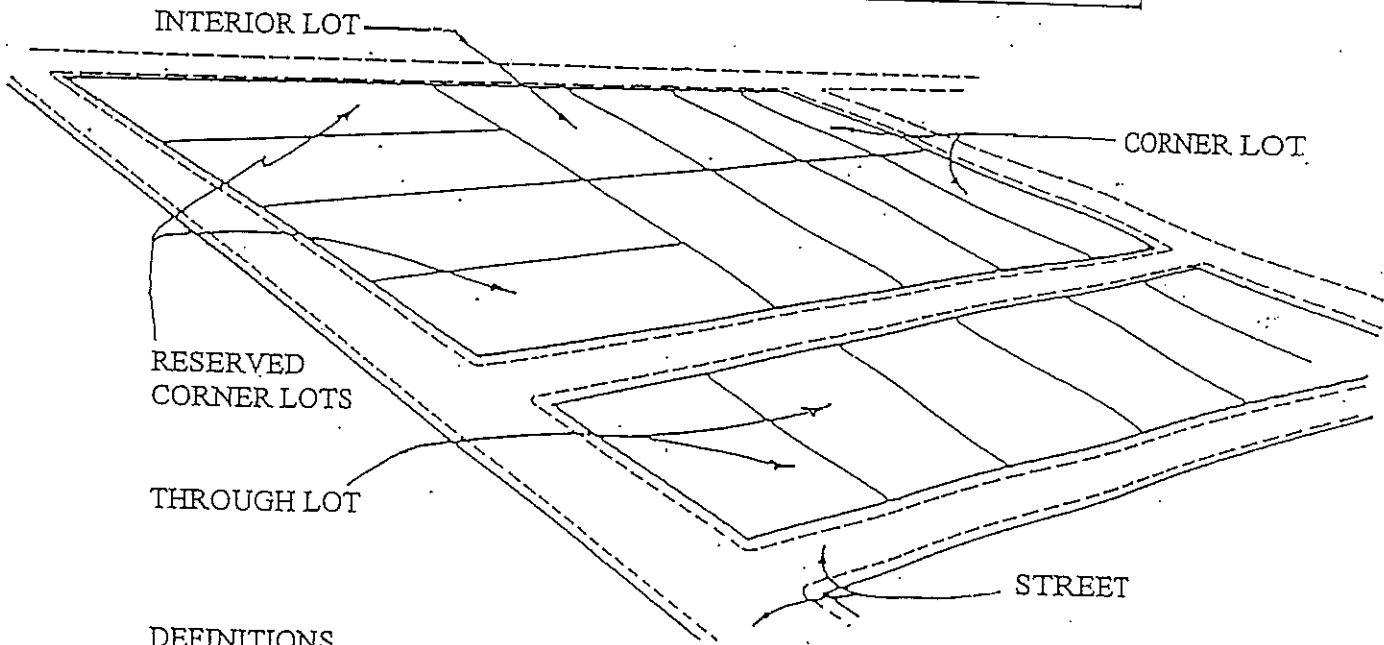
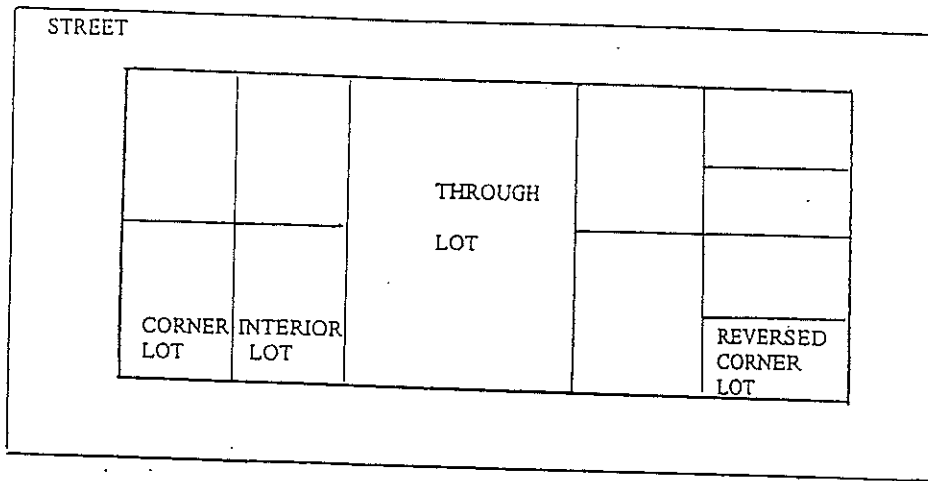


EXHIBIT 1

REQUIRED YARDS --- ILLUSTRATED



EXAMPLE OF LOT TYPES



DEFINITIONS

CORNER LOT

is a lot abutting on two streets at their intersection, where the angle of intersection is not more than 135 degrees.

REVERSED CORNER LOT

is a corner lot the street side lot line of which is substantially a continuation of the front lot line of the first lot to its rear.

INTERIOR LOT

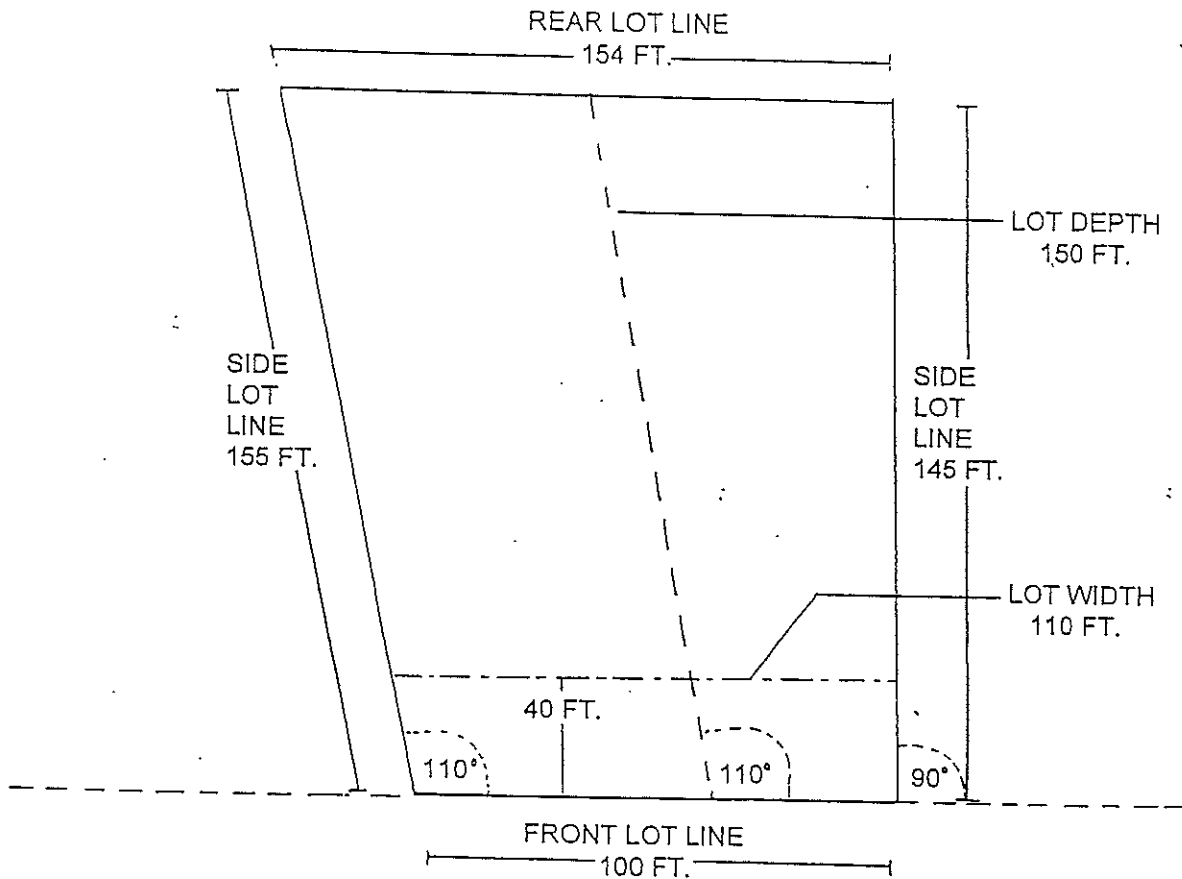
is a lot other than a corner or reserved corner lot.

THROUGH LOT

is a lot having a pair of opposite lot lines along two more or less parallel public streets. On a through lot both street lines shall be deemed front lot lines.

EXHIBIT 3

LOT WIDTH AND LOT DEPTH EXPLAINED



LOT WIDTH - The horizontal distance between the side lot lines of a lot, measured at the widest width within the first 40 feet of lot depth immediately in back of the front right-of-way. It must be parallel to street.

LOT DEPTH - The mean horizontal distance between the front lot line and the rear lot line of a lot measured within the lot boundaries.

EXHIBIT 4

FENCES, WALLS, AND OTHER STRUCTURES
IN YARDS HEIGHT LIMITS -- ILLUSTRATED

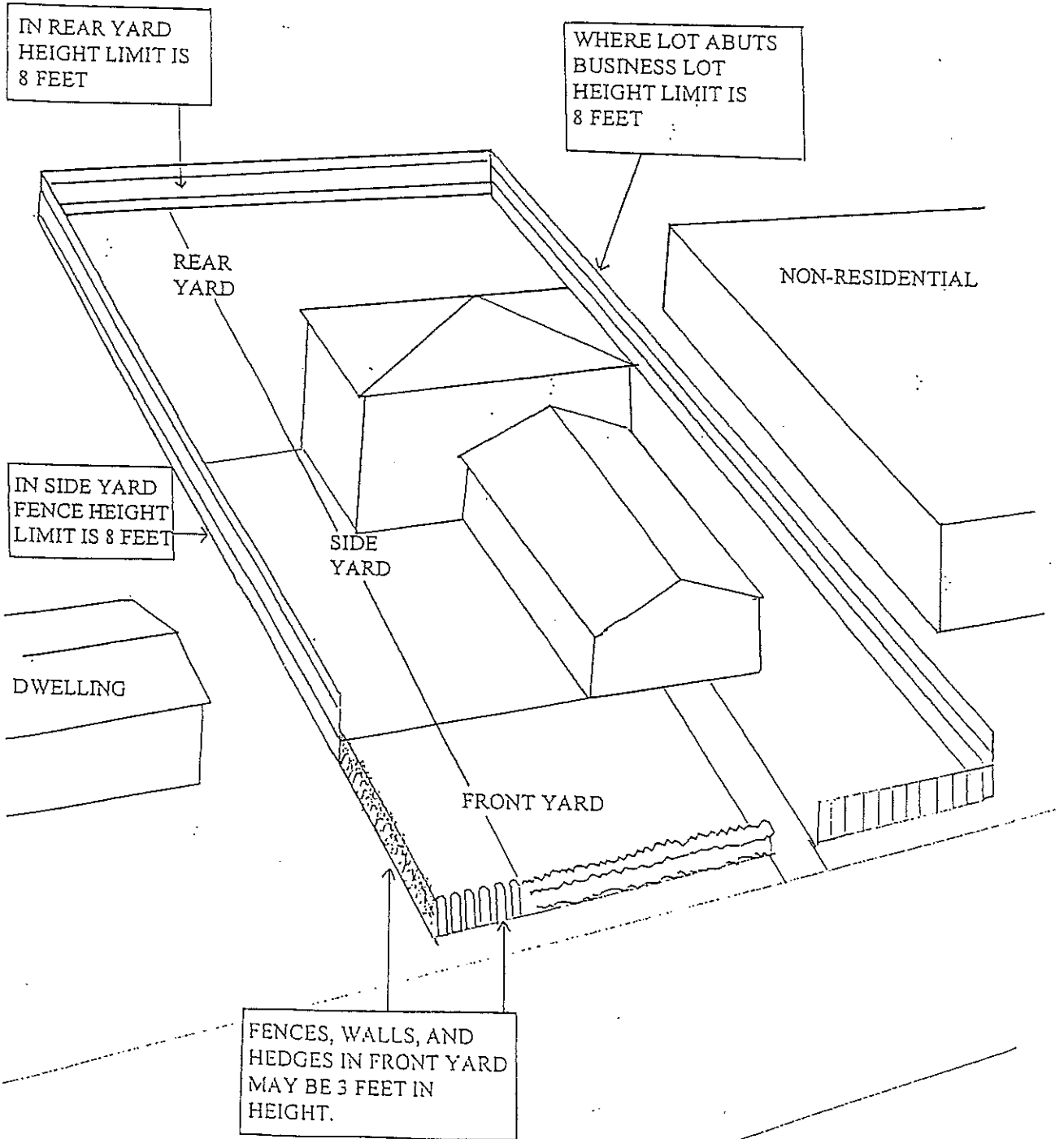
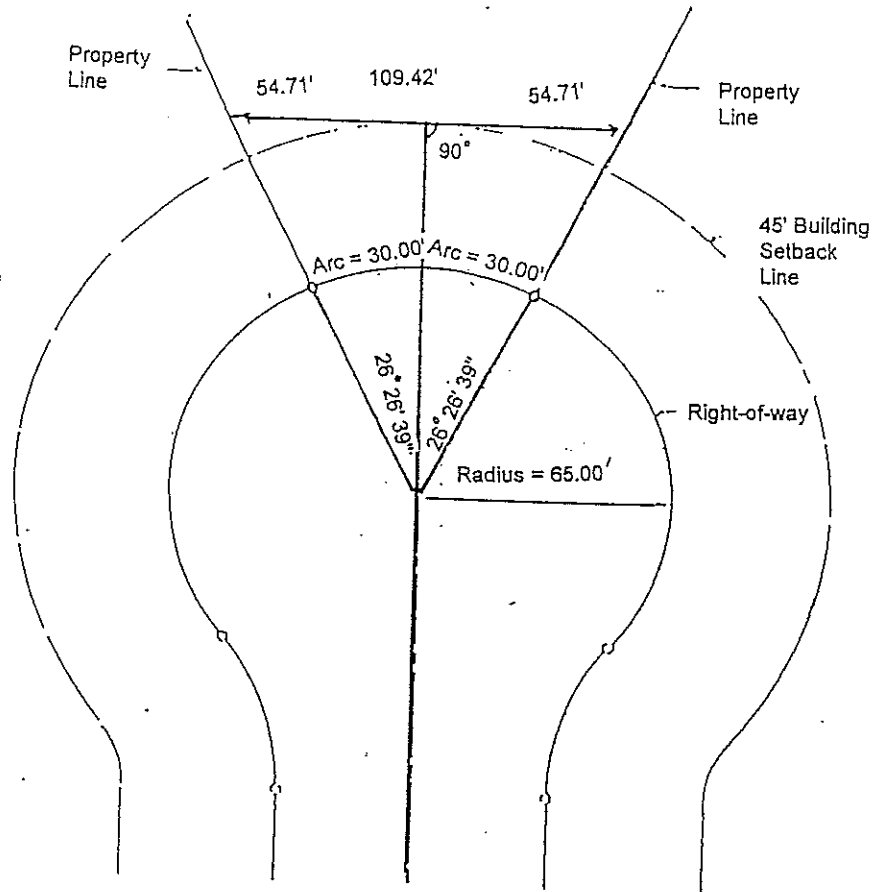


EXHIBIT 5

65 FOOT RADIUS CUL-DE-SAC
45 FOOT SETBACK



*Width at 45' setback = 109.42'
 Width = 150'
 Width = 200'
 Width = 250'

Arc at 65' r-o-w = 60.00'
 Arc = 77.79'
 Arc = 99.92'
 Arc = 110.39'

Central Angle = 52 53' 18"
 Central Angle = 68 34' 26"
 Central Angle = 84 32' 50"
 Central Angle = 97 18' 16"

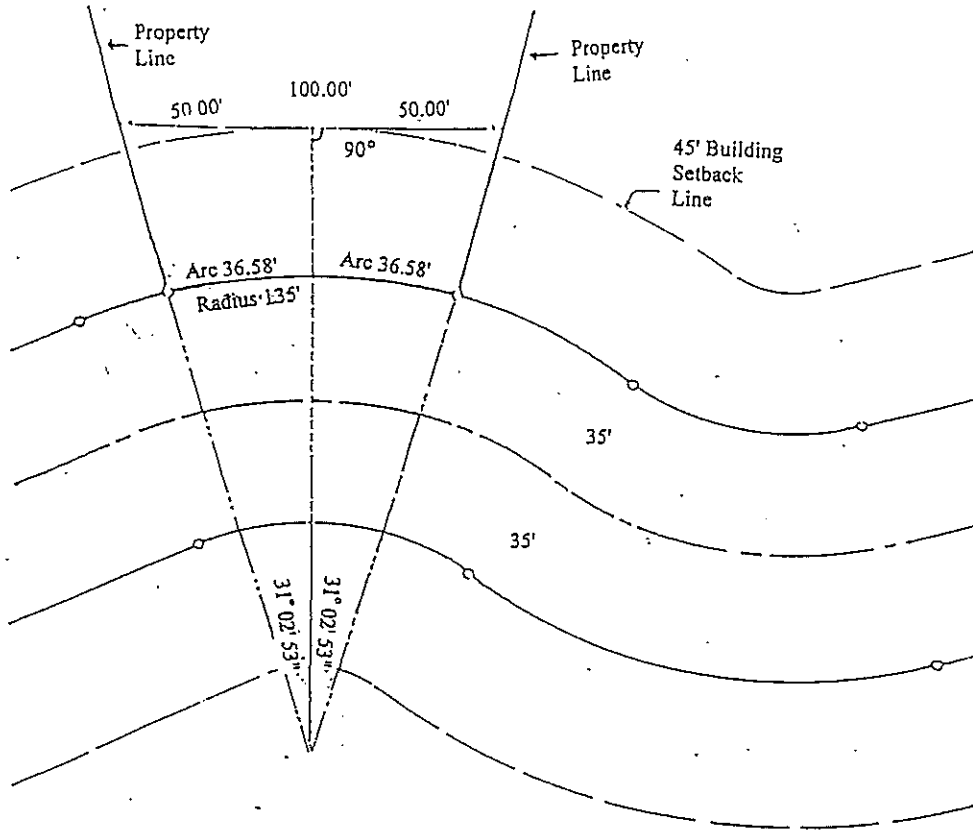
*Minimum frontage of 60 feet will apply

LOT, WIDTH. The horizontal distance between the side lot lines of a lot, measured at the widest width within the first 40 feet of a lot depth immediately in back of the front right-of-way line. It must be parallel to street.

Such minimum lot width may be measured at the building setback line only if said lot is located on the outer radius of a curved street such as a cul-de-sac. However, in no case shall the frontage measured at the right-of-way line be less than 60 feet wide. When measuring at the building setback, on a curved street, the width shall be at right angles to a radial line.

EXHIBIT 6

135 FOOT RADIUS (RIGHT OF WAY)
45 FOOT SETBACK



Width at 45' setback

100'
150'
200'
250'

Arc at 135' Radius

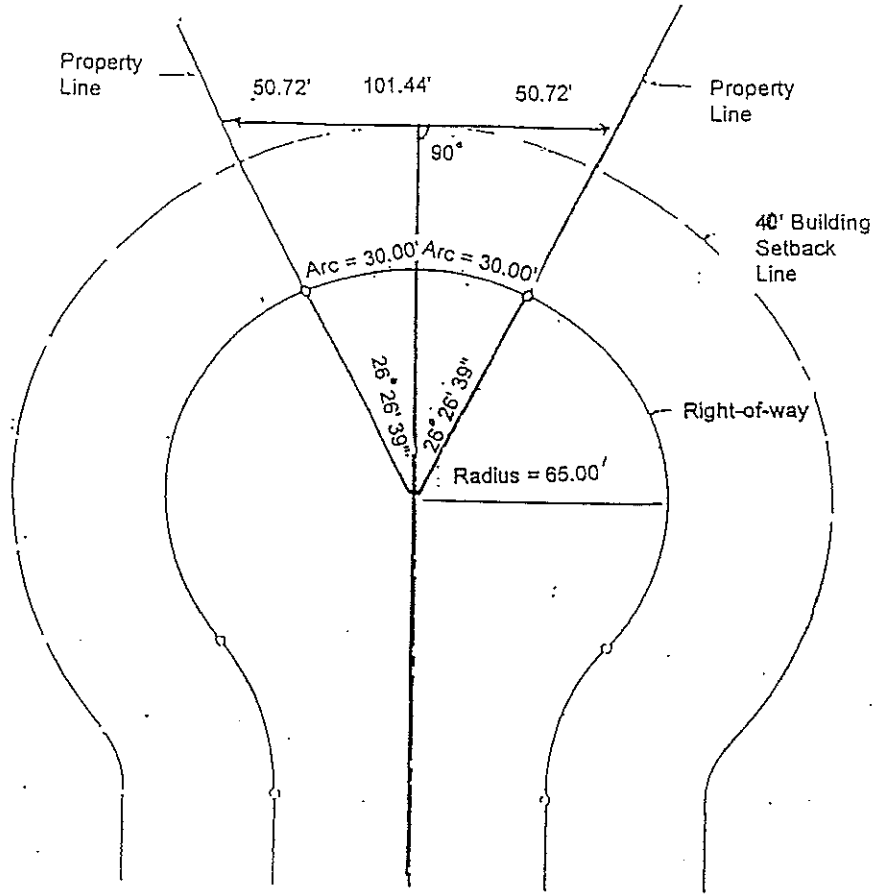
73.16'
106.59'
136.92'
163.89'

Central Angle

31 02' 53"
45 14' 23"
58 06' 33"
69 33' 20"

EXHIBIT 7

65 FOOT RADIUS CUL-DE-SAC
40 FOOT SETBACK



*Width at 40' setback = 101.44'
 Width = 150'
 Width = 200'
 Width = 250'

Arc at 65' r-o-w = 60.00'
 Arc = 80.63'
 Arc = 98.93'
 Arc = 113.38'

Central Angle = 52 53' 18"
 Central Angle = 71 04' 31"
 Central Angle = 87 12' 20"
 Central Angle = 99 56' 22"

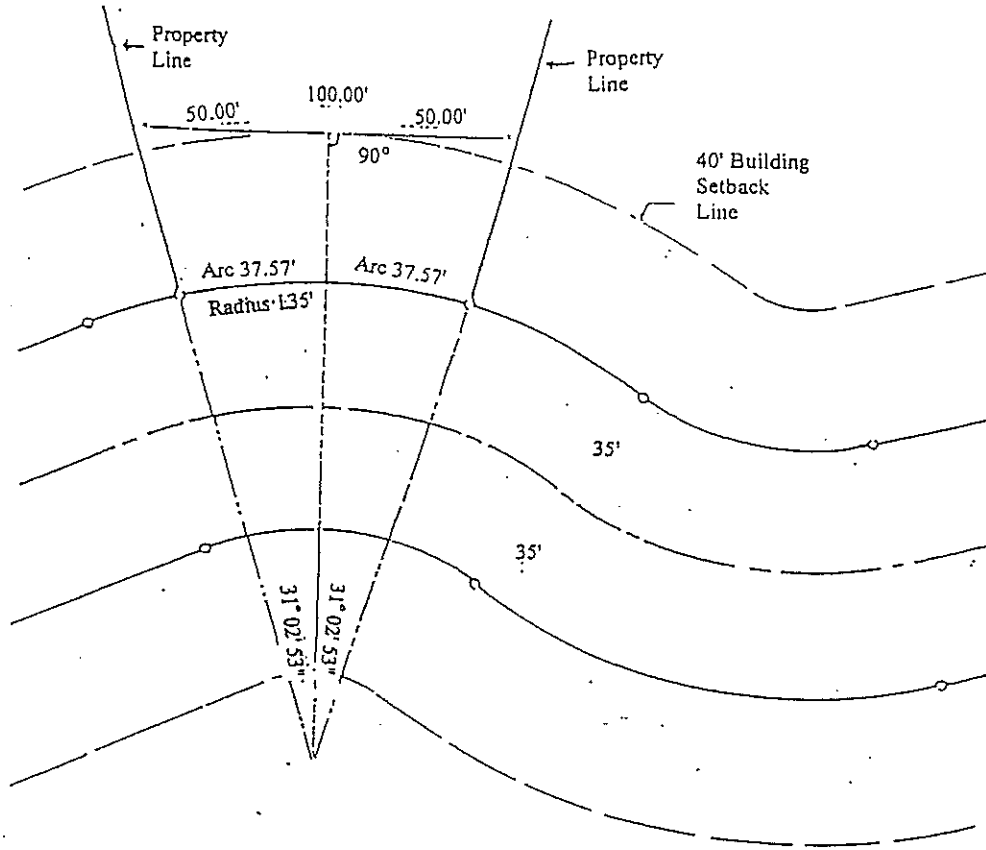
*Minimum frontage of 60 feet will apply

LOT, WIDTH. The horizontal distance between the side lot lines of a lot, measured at the widest width within the first 40 feet of a lot depth immediately in back of the front right-of-way line. It must be parallel to street.

Such minimum lot width may be measured at the building setback line only if said lot is located on the outer radius of a curved street such as a cul-de-sac. However, in no case shall the frontage measured at the right-of-way line be less than 60 feet wide. When measuring at the building setback, on a curved street, the width shall be at right angles to a radial line.

EXHIBIT 8

135 FOOT RADIUS (RIGHT OF WAY)
45 FOOT SETBACK



Width at 40' setback

100'
150'
200'
250'

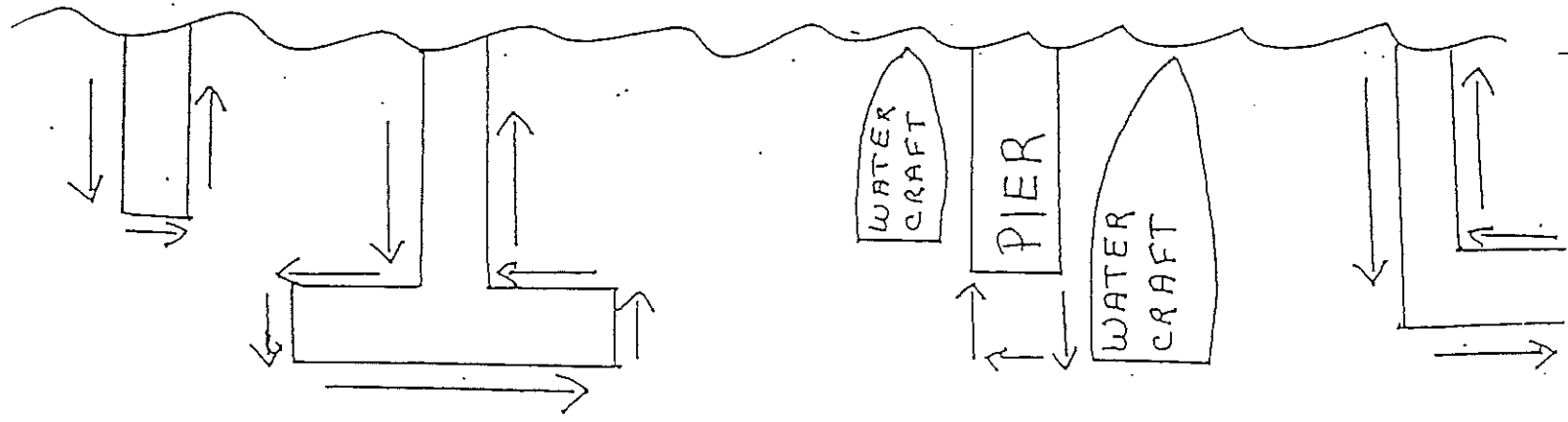
Arc at 135' Radius

75.14'
109.32'
140.17'
167.47'

Central Angle

31 53' 27"
46 23' 50"
59 29' 23"
71 04' 31"

EXHIBIT 9



Appendix – A

Exhibit 10

The following shall be required presentations to be submitted for review prior to final review and acceptance for all **Planned Business Park District (PBD)**, **Planned Development District (PDD)**, and **Planned Commercial District (PCD)** zonings.

Drainage Plan

- Pre-development and Post-development contours
- Pre-development and Post-development runoff analysis
- Spot elevations defining water directional water flow
- Water quality methods
- Downstream route of runoff and effect on all pertinent properties

Traffic Plan

- Ingress and egress locations and dimensions
- Intent of approval by governing body of authority

Lighting Plan

- Site plan showing all exterior lighting and type of fixture
- Light dispersion perimeter in lumens for each fixture

Building Plan

- Elevation views of all sides of the structure
- Color scheme and building materials
- Floor space in square feet

Signage Plan

- Color scheme and building materials
- Sign location and dimensions

Landscape Plan

- Location and type of plantings

Erosion Control

- Location of and type of erosion control intended
- Must meet all aspects of the Wisconsin Construction Site Handbook

Fire Protection Plan

- Must carry approval of the local and state authorities

The Village Board reserves the right to add to or remove items as deemed appropriate.